

Item No.
6

<b>CITY OF WESTMINSTER</b>			
<b>PLANNING APPLICATIONS COMMITTEE</b>	<b>Date</b> 21 April 2015	<b>Classification</b> For General Release	
<b>Report of</b> Director of Planning		<b>Wards involved</b> St James's	
<b>Subject of Report</b>	<b>79 Pall Mall, London, SW1Y 5ES</b>		
<b>Proposal</b>	Use of the building to provide eight residential units (Class C3). External alterations comprising of a three storey rear extension at ground to third floor level with a terrace at third floor level. Extension to existing basement level to rear. New rooflight, access hatch and plant at roof level. Associated internal alterations.		
<b>Agent</b>	GVA		
<b>On behalf of</b>	Mayfair Saturns BV		
<b>Registered Number</b>	14/12061/FULL 14/12062/LBC	<b>TP / PP No</b>	TP/9396
<b>Date of Application</b>	01.12.2014	<b>Date amended/ completed</b>	02.12.2014
<b>Category of Application</b>	Other		
<b>Historic Building Grade</b>	Grade II Listed Building		
<b>Conservation Area</b>	St James's		
<b>Development Plan Context</b> - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone  Within Central Activities Zone		
<b>Stress Area</b>	Outside Stress Area		
<b>Current Licensing Position</b>	Not Applicable		

## 1. RECOMMENDATION

Refuse permission and listed building consent - impact on historic building.





79 Pall Mall, SW1

## 2. SUMMARY

No. 79 Pall Mall is a Grade II five storey building and is currently in use as offices (Class B1). No. 79 is internally linked at lower ground and ground floor level with the office building at No. 78. The application property is within the St James's Conservation Area, Core Central Activities Zone and St James's Special Policy Area.

Permission and listed building consent are sought to separate the two buildings and convert No. 79 to provide eight residential flats (Class C3). External alterations include a three storey rear extension at first to third floor level with terrace at third floor level; extension to existing lower ground floor level to the rear.

The key issue in this case is the impact of the extension on the character and appearance of the St James's Conservation Area and the plan form of the Grade II listed building.

The proposal is not considered to comply with the Council's policies in relation to the impact on St James's Conservation Area and on the listed building as set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies. The application is recommended for refusal.

## 3. CONSULTATIONS

### ENGLISH HERITAGE

Object to the rear extension.

### ANCIENT MONUMENTS SOCIETY

Any comments to be reported verbally.

### COUNCIL FOR BRITISH ARCHAEOLOGY

Any comments to be reported verbally.

### THE GEORGIAN GROUP

Any comments to be reported verbally.

### SOCIETY FOR THE PROTECTION OF ANCIENT BUILDINGS

Any comments to be reported verbally.

### TWENTIETH CENTURY SOCIETY

Any comments to be reported verbally.

### THE VICTORIAN SOCIETY

Any comments to be reported verbally.

### WESTMINSTER SOCIETY

No objection.

### HIGHWAYS PLANNING MANAGER

No objection.

### CLEANSING MANAGER

No objection.

**ENVIRONMENTAL HEALTH**

Objection; The habitable accommodation in the lower ground floor would not receive the minimum standards of natural lighting.

**ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS**

No. Consulted: 45; Total No. of Replies: 0.

ADVERTISEMENT/SITE NOTICE: Yes.

**4. BACKGROUND INFORMATION****4.1 The Application Site**

No. 79 Pall Mall is a Grade II listed five storey building currently in use as offices (Class B1). The site is internally linked with No. 78 Pall Mall. The application property is within the St James's Conservation Area, Core Central Activities Zone and St James's Special Policy Area.

**4.2 Relevant History**

Planning permission and listed building consent granted in December 2006 for the installation of four air conditioning units within acoustic louvred enclosures at roof level and retention of two wall mounted air conditioning units within front lower ground lightwell.

Listed building consent granted in March 2006 for the infilling of door opening through party wall between 78 and 79 Pall Mall at basement, ground and third floor level.

Planning permission and listed building consent granted in November 1990 for the demolition of the rear half landing; rebuilding and single storey rear courtyard extension.

**5. THE PROPOSAL**

Permission and consent are sought to extend the property with a three storey rear extension at first to third floor level and to convert the building into eight residential flats (Class C3). Other external works include a terrace at third floor level, an extension at rear lower ground floor level and mechanical plant at roof level. The proposal also seeks consent for internal alteration including to physically separate Nos. 78 and 79.

It is intended that the proposed residential at this site would form part of a land use swap to offset the commercial increase and loss of residential at 5 Hertford Street.

**6. DETAILED CONSIDERATIONS****6.1 Land Use**Loss of offices

The table below provides a breakdown of the existing and proposed floorspace.

Use	Existing (m2)	Proposed (m2)	Change (+ or – m2)
Office (Class B1)	1474	0	-1474
Residential	0	1510	+1510
<b>Total</b>	<b>1474</b>	<b>1510</b>	<b>+36</b>

The proposal would result in the loss of office floorspace (Class B1) within the CAZ. However there are no policies within the UDP or Westminster's City Plan which protect office floorspace. Its loss is therefore considered acceptable in land use terms. The scheme is considered to be in line with the NPPF and policy S47 of Westminster's City Plan which seeks to secure development that improves the economic, social and environmental conditions in the City.

#### Residential mix

The proposal accords with Policy S14 of Westminster's City Plan: Strategic Policies (2013) and saved Policy H3 of the Unitary Development Plan 2007 which seeks to increase residential floorspace within the City.

The scheme will provide eight residential units with the following mix:

Unit Type	Number	%
1 bed	4	50%
2 bed	4	50%

Policy S15 and saved Policy H5 seeks the provision of a range of housing sizes - normally requiring 33% of housing units to be family sized (3+ bedrooms) and 5% of the family housing to have five or more habitable rooms. The proposal does not provide any family sized accommodation and does not represent a policy compliant scheme in terms of unit mix. However due to constraints imposed by the listed status of the building the mix of units is considered acceptable.

The unit size for the proposed residential units each units exceeds the minimum standards set out in the London Plan (2011).

#### Residential standards

The application property is located within a predominately commercial area largely made up of office uses, and where ambient noise levels exceed WHO guideline levels. Following revisions to the scheme Environmental Health has confirmed that the proposed internal noise levels for the residential units are likely to comply with the City Council's standard noise conditions.

Environmental Health have maintained an objection with regards to the proposals for the habitable accommodation in the lower ground floor flats which do not appear to comply with the minimum standards of the Housing Acts with regards to natural lighting. There are three flats at lower ground floor level that obtain natural light either from the front lightwell or two internal lightwells proposed as part of the scheme. Due to the physical constraints of the site and the listed status of the building, further modifications may be difficult. Whilst the amount of

natural daylight to the three flats at lower ground floor level is not ideal, due the listed status of the building they are considered acceptable.

### Affordable Housing

Policy S16 of Westminster's City Plan: Strategic Policies (2013) requires the provision of affordable housing if the proposed residential use provides 10 or more residential units, or provides over 1000m<sup>2</sup> of new residential floorspace. As the proposed floorspace subject to the change of use is 1510m<sup>2</sup> (gross external floorspace) Policy S16 is applicable.

The supported policy text states that affordable housing will be provided on site. Where the Council considers this not to be practical or viable, the affordable housing should be provided off site but within the vicinity of the application site. Off-site provision beyond the vicinity of the development will only be acceptable where the Council considers that the affordable housing provision is greater and of a higher quality than would be possible on or off site in the vicinity, and where it would not add to an existing localised concentration of social housing, as set out in the City Management policy. Financial contributions in lieu of affordable housing provision is an option that the Council will only accept if all the above cascade options have been thoroughly explored and prove impractical or unfeasible.

The Council's Interim Policy on Affordable Housing requires the provision of two affordable units on site. The applicant has stated that due to the physical constraints of the building and its Grade II listed status it is not possible to provide these units on site. The applicant has advised that they do not own other properties within the vicinity of the site to provide the affordable housing units and is therefore proposing to provide a financial contribution in-lieu of affordable housing units. The applicant has offered a financial contribution of £400,000 whereas a policy compliant payment would be £1,355,820. The applicant has submitted a financial viability assessment explaining why it is not possible to provide the policy compliant sum. This has been examined by the City Council's consultants, Lambert Smith Hampton. They agree with the applicant that affordable housing is not viable on site, and that a payment in lieu of £400,000 is appropriate in this instance. The applicant has agreed to provide this payment and had the application been considered acceptable then this could have been secured by a S106 legal agreement.

## **6.2 Townscape and Design**

The application site was originally built as a townhouse and was famously occupied by Nell Gwynn. The original building was demolished in 1866 and rebuilt as offices for the Eagle Insurance Company between 1866 and 1868. Within the rear lower ground floor courtyard area there survives an Eagle emblem presumably representing the history of the building. It appears that during the 1950s both No. 78 and 79 were amalgamated for their use as offices by Eagle Insurance Company (Eagle Star). No. 79 has undergone a significant amount of alterations but does retain some historic detailing.

### Rear extension

The main alteration to the building is the erection of a rear extension at first to third floor levels that will extend 2m from the rear building line. The first and second floor levels will provide additional residential accommodation accessed from the existing, albeit altered, openings. At third floor level the extension to the existing floorplan will provide openable doors leading onto a shallow terrace.

The rear extension has been designed so that the existing rear elevation is retained. The new extension would be built up in layers, comprising of a contemporary glazed sliding system, frameless glazed balustrade, delicate laser cut metal panels and ceramic glazed fins/panel system. The applicant considers that this layering effect would allow the design to remain

lightweight and subservient but also allows views of the rear of the building through the panels. Views of the proposed rear extension would be from immediate adjoining properties such as 80-82 Pall Mall and Marlborough House to the rear.

The applicant has stated that the existing rear extension has been rebuilt, on the basis that the window dressings appear crisper and the brickwork is of a slightly different colour to the return. However archive photographs (dating from 1957) provided by English Heritage indicate that the rear extension in its current form was certainly in place by the 1950s and was not a recent addition. Whether the rear elevation is a contemporary addition in comparison to the original phase of the building or was reconstructed at a later historic phase of alteration, it is considered to be well composed in terms of its materials and detailing which contributes to the special interest of this listed building.

The proposed extension at first to third floor level is considered to be unacceptable in principle in terms of its scale, massing and impact on plan form. The extension does not terminate below the penultimate storey of the building and whilst the design of the rear extension attempts to incorporate some visibility of the original rear elevation through the use of glazing and innovative bronze shutters, the proposal would obscure the whole of the rear elevation and would not remain subordinate to the host building.

English Heritage has issued a comprehensive and detailed objection supporting the comments made above and noting in particular that conservation need not involve such a manifest level of change when a lesser degree could still achieve a viable use. The comments provided by English Heritage are supported by officers.

Whilst the design of the rear extension is considered to be of a high quality, the principle of a rear extension in this location is considered to be unacceptable and contrary to Policies S25 and S28 of the City Plan and saved Policies DES 1; DES 5, DES 9 and DES 10. In addition, NPPF paragraph 134 states that where a proposal will lead to less than substantial harm to the significance of a designated heritage asset, the harm should be weighed against the public benefits of the proposal. It is considered that in this instance, the harm outweighs any public benefit.

#### Roof level

At roof level it is proposed to remove several unsympathetic elements such as mechanical plant that have accrued over the years and install a new roof plant enclosure and rooflight. These works are considered acceptable.

#### Basement extension and rear courtyard area

The proposals seek to increase the depth of the existing lower ground floor level by approximately 4.5m to the rear boundary line and excavate the existing courtyard area to lower ground floor level to provide natural light to the units at this level. The courtyard contains a small disused fountain with the Eagle emblem and is surfaced with tiles.

The proposed extension to the existing lower ground floor level and the formation of a new courtyard area at rear lower ground floor area is considered acceptable in listed building terms. It is proposed to retain the existing fountain with the Eagle emblem which is welcomed.

#### Internal alterations

The proposal to separate the two properties is welcomed in listed building terms as it reinstates the historic separation as originally intended.



No. 79 retains an element of internal historic detailing within the premises albeit with modification especially above first floor level. The removal of modern partitions is welcomed and proposals include the restoration of historic cornice at the main entrance door, the removal of unsightly trunking near the front door, and works to preserve the stone eagle in the rear.

The main front room at ground floor level retains many historic details and is in itself an indication of the historic financial use of the property. A mezzanine floor has been constructed in this space but does not extend the full length of the room preserving views of the room dimensions, historic cornice and walls. Internally the proposed alterations seek to protect and enhance the surviving historical features within the building. The proposed residential units have been designed to work around the existing floorspace of the building. The proposed internal alterations are considered to be sympathetic and in keeping with the special historic interest of the building.

### **6.3 Amenity**

The proposal seeks to provide a small terrace (0.5m deep) at third floor level which will be accessed from the living/dining room. Due to the size and location of the proposed terrace it is not considered that the terrace would cause a material loss of privacy or overlooking into the adjoining property, currently in office use.

Mechanical plant is proposed at roof level within a dedicated plant area. A noise assessment report has been submitted which demonstrates that the proposed plant is likely to meet the City Council's planning noise conditions. Had the application being considered acceptable conditions would have been recommended to control noise from plant and the submission of a supplementary acoustic report to ensure that the proposed mechanical plant demonstrates compliance with the City Council's planning noise conditions.

### **6.4 Transportation/Parking**

The proposal does not provide off street parking. Policy TRANS 23 states that where the on street parking threshold in an area is over 80% than this will result in an unacceptable level of deficiency and increase parking stress in the area. The night time parking occupancy of resparks within a 200m radius of the site is 58%. The inclusion of all legal parking spaces (single yellow lines, metered bays, pay and display and shared use) reduces to 24%.

During the daytime parking occupancy of all resparks within a 200m radius of the site together with all legal parking spaces is 62%. The site is well served by public transport (buses and Green Park underground are nearby). It is acknowledged that the site has a high level of public transport accessibility, households with one or more car in the St James's ward is 36%. The above indicates that residents in the area do own cars, along with the fact that during the day residential bays have a high level of occupancy.

Parking pressure in the area remains below the stress level. Whilst the introduction of additional housing in this area without off-street parking or on-street parking restraint is likely to increase stress levels, in this instance the Highways Planning Manager has confirmed that the addition of residential in this area is likely to be absorbed into the surrounding street network therefore the development is consistent with Policy TRANS 23.

The proposals create eight new flats and the Highways Planning Manager has recommended that a mitigation payment is made towards future on-street parking surveys to monitor changes in demand (£1,000 per new residential unit). However as the City Council has yet to formally adopt its own Community Infrastructure Levy (CIL) and the City Council cannot seek to secure this financial contribution.

Policy S41 seeks to encourage sustainable forms of transport and this is reinforced by supported Policy TRANS 10A which requires one cycle space to be provided for each new flat. 10 cycle spaces are to be provided at basement level, although the arrangement is a little cramped it is secure and given the constraints of the site the arrangement is considered acceptable.

### **6.5 Economic Considerations**

The proposal will result in a reduction of 1474m<sup>2</sup> of office floorspace in the CAZ. However this is unlikely to have a significant economic impact.

There provision of 8 residential units will increase the housing stock in the City which will generate economic benefits.

### **6.6 Other UDP/Westminster Policy Considerations**

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

### **6.7 London Plan**

The proposal does not raise strategic issues.

### **6.8 Planning Obligations**

On 06 April 2010 the Community Infrastructure Levy (CIL) Regulations came into force which make it unlawful for a planning obligation to be taken into account as a reason for granting planning permission for a development, or any part of a development, whether there is a local CIL in operation or not, if the obligation does not meet all of the following three tests:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development;
- (c) fairly and reasonably related in scale and kind to the development.

Policy S33 of the City Plan relates to planning obligations. It states that the Council will require mitigation of the directly related impacts of the development; ensure the development complies with policy requirements within the development plan; and if appropriate, seek contributions for supporting infrastructure. Planning obligations and any Community Infrastructure Levy contributions will be sought at a level that ensures that the overall delivery of appropriate development is not compromised.

From 06 April 2015, the Community Infrastructure Levy Regulations (2010 as amended) impose restrictions on the use of planning obligations requiring the funding or provision of a type of infrastructure or a particular infrastructure project. Where five or more obligations relating to planning permissions granted by the City Council have been entered into since 06 April 2010 which provide for the funding or provision of the same infrastructure types or projects, it is unlawful to take further obligations for their funding or provision into account as a reason for granting planning permission. These restrictions do not apply to funding or provision of non-infrastructure items (such as affordable housing) or to requirements for developers to enter into agreements under section 278 of the Highways Act 1980 dealing with highway works. The recommendations and detailed considerations underpinning them in this report have taken these restrictions into account.

The City Council has consulted on the setting of its own Community Infrastructure Levy, which is likely to be introduced later in 2015. In the interim period, the City Council has issued interim guidance on how to ensure its policies continue to be implemented and undue delay to development avoided. This includes using the full range of statutory powers available to the council and working pro-actively with applicants to continue to secure infrastructure projects by other means, such as through incorporating infrastructure into the design of schemes and co-ordinating joint approaches with developers.

For reasons outlined elsewhere in this report, a S106 legal agreement would have been required to secure the following:

- a) a financial contribution of £400,000 towards the City Council's affordable housing fund (payable on commencement of development).
- b) costs of monitoring the S106 agreement.

The proposed development would have also been liable for a Mayoral CIL payment.

Had the application been considered acceptable then the 'Heads of Terms' listed above would have been considered satisfactory to address City Council policies. The planning obligations to be secured, as outlined in this report, would have been in accordance with the City Council's adopted City Plan and London Plan policies and would not have conflicted with the Community Infrastructure Levy Regulations (2010 as amended).

## **6.9 Environmental Assessment including Sustainability and Biodiversity Issues**

A sustainability and energy statement accompanies the application proposals and given the listed building constraints of the property a BREEAM Domestic Refurbishment Pre-assessment has been carried out. The BREEAM assessment provides a predicted BREEAM rating for the refurbishment works at 79 Pall Mall of 64.99%, which would achieve a BREEAM "Very Good" rating. Given the constraints of the building in listed building terms this is considered acceptable.

## **6.10 Other Issues**

### Extension of existing lower ground floor area

It is proposed to modestly extend the rear part of the existing lower ground floor level to provide additional residential accommodation and enable the formation of a more functional courtyard area. The proposal does not represent a full basement extension but the extension of the existing lower ground floor to provide a better floor area. A structural method statement has been submitted with the application which has been assessed by Building Control officers.

This report has been considered by our Building Control officers who advised that the structural approach and consideration of the local hydrology appears satisfactory.

The proposed extension of the existing lower ground floor level maintains the hierarchy of the listed building. English Heritage have raised no comments with regards to the proposed extension of the existing lower ground floor level and on this basis is considered acceptable in listed building terms.

## 7. Conclusion

The application proposals relating to the change of use, alterations to the lower ground floor area and courtyard and terrace are considered acceptable. However due to the provision of the rear extension which is considered unacceptable in listed building terms and contrary to policies within the City Plan and UDP the application is recommended for refusal on listed building and design grounds as set out in the draft decision letter.

## BACKGROUND PAPERS

1. Application form.
2. Letters from English Heritage dated 12 January 2015 and 25 March 2015.
3. Memorandum from Westminster Society dated 6 January 2015.
4. Memorandum from Building Control dated 19 December 2014.
5. Memorandum from Highways Planning Manager dated 24 December 2014.
6. Memorandum from the Cleansing Manager dated 6 January 2015.
7. Memorandum from Environmental Health dated 16 January 2015 and 27 March 2015.
8. Letter from GVA dated 11 March 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT MATTHEW MASON ON 020 7641 2926 OR BY E-MAIL – [mmason@westminster.gov.uk](mailto:mmason@westminster.gov.uk)

**DRAFT DECISION LETTER**

- Address:** 79 Pall Mall, London, SW1Y 5ES
- Proposal:** Use of the building to provide eight residential units (Class C3). External alterations comprising of a three storey rear extension at ground to second floor level with terrace at rear third floor level. Extension to existing basement level to rear. New rooflight and access hatch at roof level and plant at roof level. Associated internal alterations.
- Plan Nos:** (01)-S-001 Rev. P2, (01)-P-001 Rev. P2, (01)-P-002 Rev. P2, (01)-P-003 Rev. P2, (01)-P-004 Rev. P2, (01)-P-005 Rev. P2, (01)-P-006 Rev. P2, (01)-P007 Rev. P2, (01)-P008 Rev. P2, (01)-E-001 Rev. P2, (01)-E-002 Rev. P2, (01)-X-001 Rev. P2, (01)-X-002 Rev. P2, (01)-X-003 Rev. 2, (02)-P-001 Rev. P2, (02)-P-002 Rev. P2, (02)-P-003 Rev. P2, (02)-P-004 Rev. P2, (02)-P-005 Rev. P2, (02)-P-006 Rev. P2, (02)-P-007 Rev. P2, (02)-008-Rev. P2, (02)-E-001 Rev. P1, (02)-E-002 Rev. P2, (02)-X-001 Rev. P2, (02)-X-002 Rev. P2, (02)-X-03 Rev. P2, (03)-P-001 Rev. P2, (03)-P-002 Rev. P2, (03)-P-003 Rev. P2, (03)-P-004 Rev. P2, (03)-P-005 Rev. P2, (03)-P-006 Rev. P2, (03)-P-007 Rev. P2, (03)-P-008 Rev. P2, (03)-P-009 Rev. P2, (03)-E-001 Rev. P2, (03)-002 Rev. P2, (03)-X-001 Rev. P2, (03)-X-002 Rev. P2, (03)-X-003 Rev. P2, (22)-E-200 Rev. P1, (22)-E-201 Rev. P1, (22)-E-202 Rev. P1, (22)-E-203 Rev. P1, (22)-E-204 Rev. P1, (22)-E-205 Rev. P1, (22)-E-206 Rev. P1, (22)-E-210 Rev. P1, (22)-E-211 Rev. P1, (22)-E-212 Rev. P1, (22)-E-213 Rev. P1, (22)-E-220 Rev. P1, (22)-E-221 Rev. P1, (22)-E-230 Rev. P1, (22)-E-231 Rev. P1, (22)-E-232 Rev. P1, (22)-E-240 Rev. P1, (22)-E-241 Rev. P1, (22)-E-242 Rev. P1, (22)-E-250 Rev. P1, (22)-E-251 Rev. P1, (22)-E-400 Rev. P1, (22)-E-401 Rev. P1, (22)-E-402 Rev. P1, (22)-E-4030 Rev. P1, (22)-E-410 Rev. P1, (22)-E-411 Rev. P1, (22)-E-412 Rev. P1, (22)-E-413 Rev. P1, (22)-E-420 Rev. P1, (22)-E-421 Rev. P1, (22)-E-422 Rev. P1, (22)-E-423 Rev. P1, Heritage and Townscape Appraisal (KM Heritage) dated November 2014, Noise Impact Assessment (Ramboll) (Report Ref: 34076-AC-R03B-C) dated February 2015, Planning Statement (GVA) dated November 2014, Transport Statement, (PTB Transport Planning) dated 28 November 2014, Daylight and Sunlight Report (Behan Partnership) dated November 2014, Design and Access Statement (Darling Architects) dated November 2014 (the information contained in this report applies to No. 79 only), Energy and Sustainability Strategy (Ridge) dated November 2014 and 27 March Update Statement.

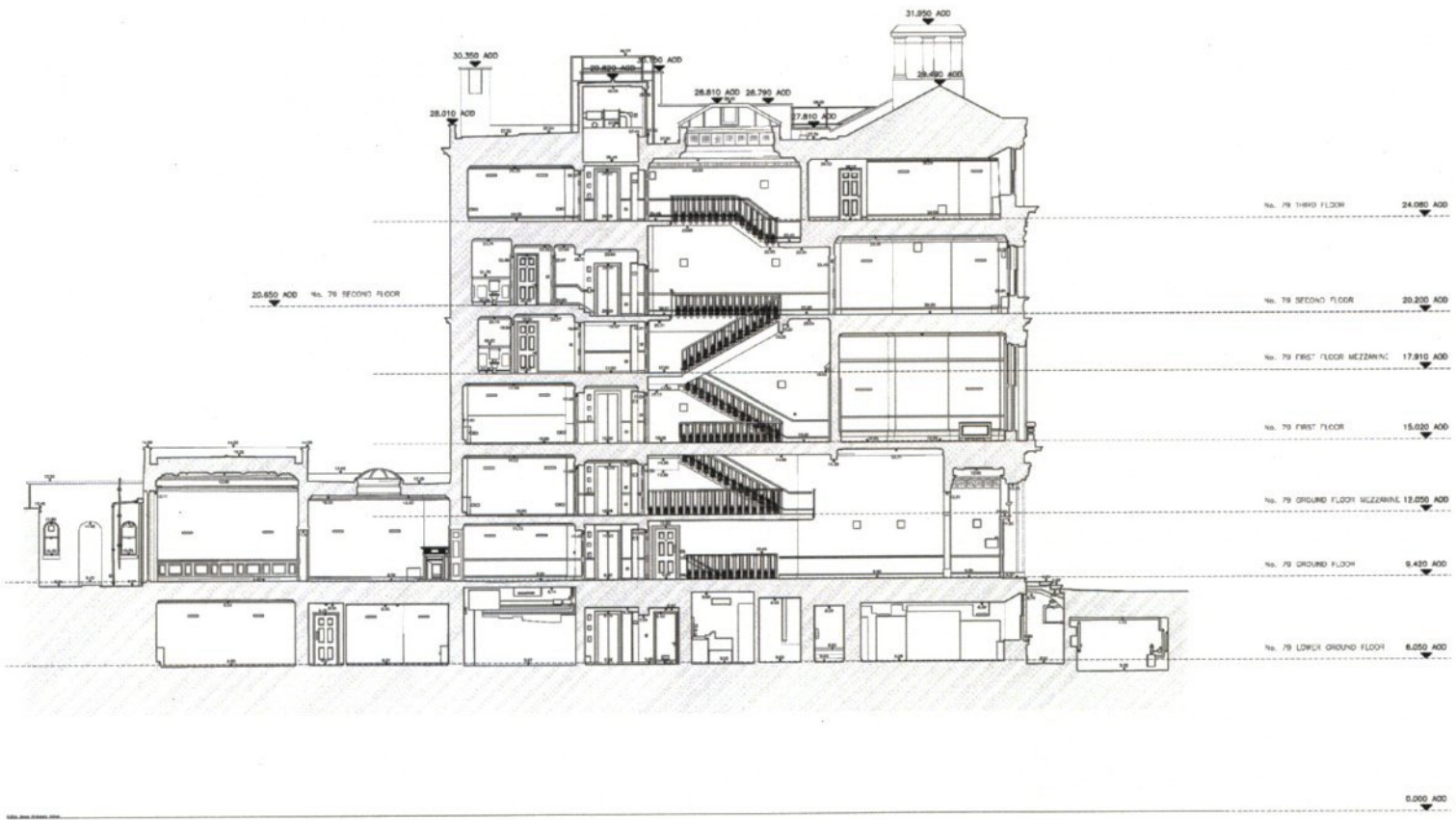
For Information purposes only: Basement Impact Assessment (Fluid Structures) dated November 2014, Structural Methodology Statement (Fluid) dated November 2014 and Construction Management Plan (Stoneforce Ltd) dated November 2014.

**Case Officer:** Zulekha Hosenally

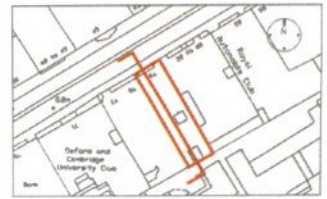
**Direct Tel. No.** 020 7641 2511

**Recommended Reason(s) for Refusal:**

- Reason:
- 1 Because of its height, bulk, detailed design and impact on plan form, the rear extension at first to third floor levels would harm the special architectural interest of this Grade II listed building. It would also fail to maintain or improve (preserve or enhance) the character and appearance of the St James's Conservation Area. This would not meet S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007 and the advice set out in paragraph 2.4 and 2.5 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings and the National Planning Policy Guidance (NPPF).



Key Plan



General Notes

This drawing is copyright of Darling Associates. This drawing shall not be copied, reproduced or otherwise used in any form without the prior written consent of Darling Associates. All work shall conform to the current editions of the Building Regulations and other statutory requirements. All drawings and specifications shall conform with the relevant British Standards specifications and shall be printed in full. This drawing forms part of an application for planning permission. It shall not be used for any other purpose without the express permission of Darling Associates. Darling Associates cannot accept responsibility for the accuracy and currency of such information. Any confirmation and/or evidence that are required appearing in such information should be sought from the relevant professional or their appropriate representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall/ Boundary Agreements. Other specialist design contractor's requirements as approved by the Main Contractor. Other specialist design sub-contractor's requirements as approved by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to related independent drawings for each building located at no. 79 & 79 Pall Mall	02.02.15		



DARLING ASSOCIATES ARCHITECTS

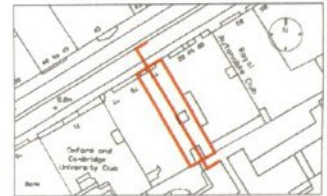
1 Greencourt Row London SW1P 1DH UK  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

Planning

TITLE			
Existing Section C-C			
PROJECT			
Application B, 79 Pall Mall			
SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO	DRAWING	REV
Nov 2014	14045-B	(01)-X-002	P2



Key Plan



General Notes

The drawing is copyright of Darling Associates. This drawing shall not be copied, all dimensions are in mm unless otherwise stated. All dimensions shall be checked on site prior to commencing the works and any discrepancies to be reported to Darling Associates. All notes and contents to the current edition of the building regulations and other statutory requirements, all materials and workmanship shall comply with the relevant British Standards specifications and codes of practice. This drawing forms part of an application for planning permission. It shall not be used for any other purpose without the written permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and currency of such information. Any correction and/or addition that are required appearing in such information should be sought from the relevant professional or their appointment representatives.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements, Documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall/ Boundary Agreements. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AMTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building located at no. 79 & 79 Pall Mall	05.03.15		



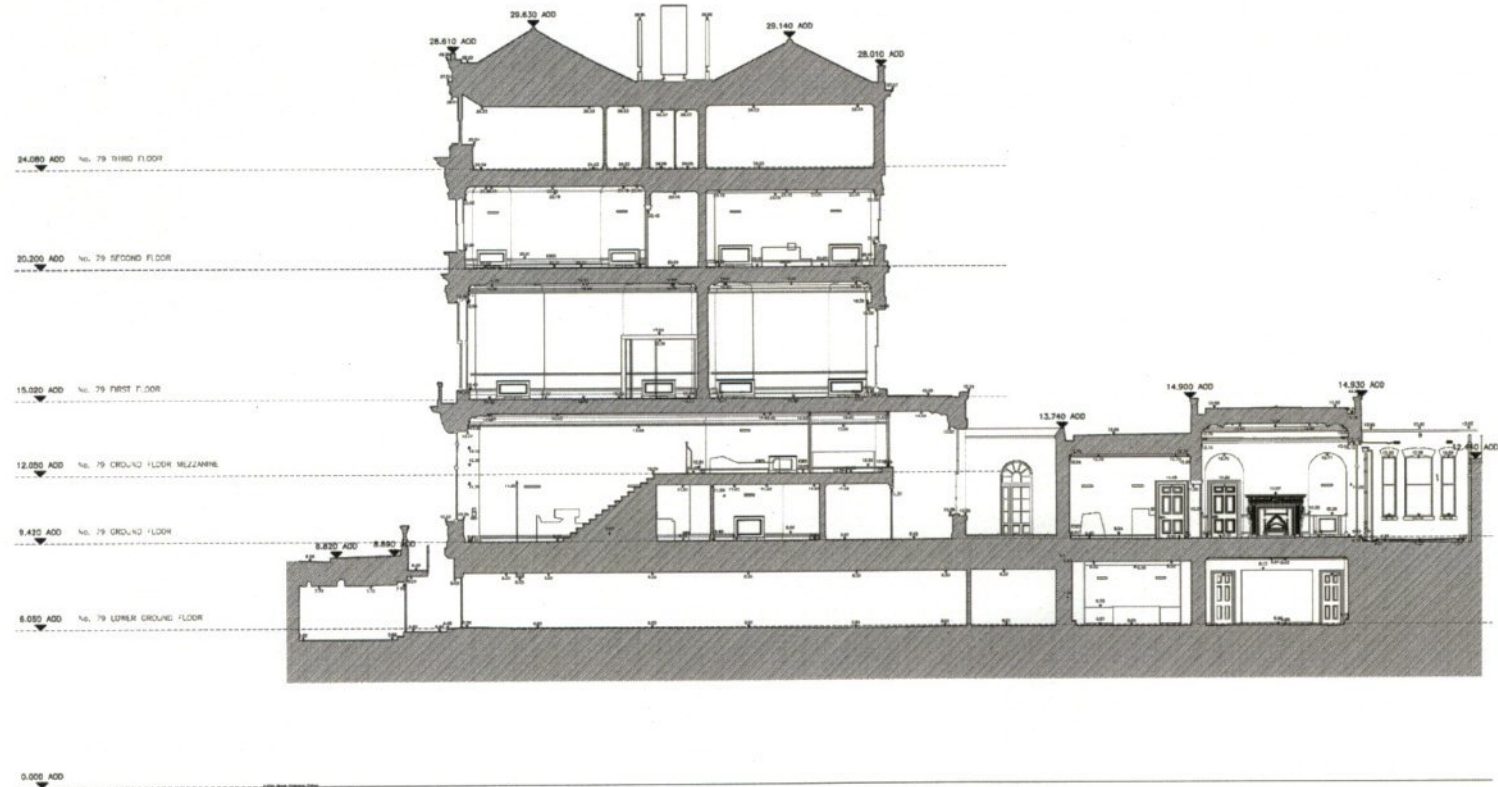
**DARLING ASSOCIATES**  
ARCHITECTS

1 Greencoat Row London SW1P 1DH UK  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

Planning

TITLE			
<b>Existing Section A-A</b>			
PROJECT			
Application B, 79 Pall Mall			
SCALE AT A1	SCALE AT A2	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(01)-X-001	P2

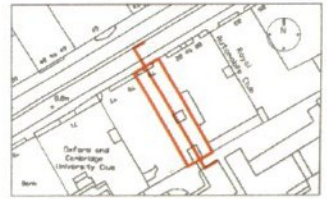
© Darling Associates Ltd.







Key Plan



General Notes

The drawing is copyright of Darling Associates. This drawing shall not be scaled. All dimensions are in millimetres unless stated. All dimensions shall be checked on site prior to commencing the works and any discrepancies to be reported to Darling Associates as soon as possible to the project manager. The building, structure and other statutory requirements, all materials and construction methods comply with the relevant building regulations, codes and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any particular and/or conditions that are required relating to such information should be sought from the relevant profession or their representative.

Drawings, specifications and schedules are to be read in conjunction with the following documents: Employer's Requirements documents, Agreements to Lease, Structure Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey drawings, Party Wall Boundary Awards. Other specified design consultant's requirements as specified by the Main Contractor. Other general design sub-contractor's requirements as specified by the Main Contractor.

Notes

REV	NOTES	DATE	AUTH
P1	Issued for Planning	28.11.14	
P2	Drawings split to create independent drawings for each building located at nos. 79 & 79A Pall Mall	05.03.15	

Existing Fabric  
 New Fabric



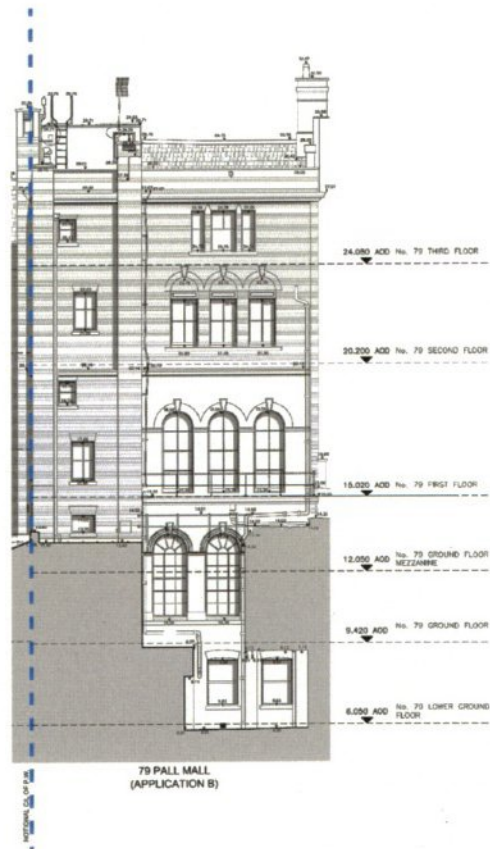
**DARLING ASSOCIATES ARCHITECTS**

1 Greencoat Row London SW1P 1DH UK  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

Planning

TITLE			
<b>Proposed Section A-A</b>			
PROJECT			
Application B. 79 Pall Mall			
SCALE AT A1	SCALE AT A2	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO	DRAWING	REV
Nov 2014	14045-B	(03)-X-001	P2

N.B. Sectional elevations are notional and are subject to a site survey. Drawing should be read in conjunction with drawing series (22)\_Internal Elevations.



#### Key Plan



#### General Notes

The drawing is copyright of Darling Associates. This drawing shall not be copied, reproduced or in any other manner. All dimensions shall be checked on site prior to commencing the work and any discrepancies to be reported to Darling Associates at once and not taken to be the final dimensions of the building. Darling Associates shall not be held responsible for any errors or omissions in this drawing. Darling Associates shall not be held responsible for any errors or omissions in this drawing. Darling Associates shall not be held responsible for any errors or omissions in this drawing.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements Document, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design sub-contractor's requirements as specified by the Main Contractor.

#### Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building located at no. 79 & 79 Part B	05.03.15		

## DARLING ASSOCIATES ARCHITECTS

1 Greencoat Row London SW1P 1DH UK  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

#### Planning

TITLE			
Existing Elevations - South East Elevation			
PROJECT			
Application B, 79 Pall Mall			
SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(01)-E-002	P2



#### Key Plan



#### General Notes

This drawing is copyright of Darling Associates. This drawing shall not be used for any other purpose unless it is shown otherwise. It is intended to be used as a guide only and any discrepancies to be reported to Darling Associates as early as possible to the correct edition of the building regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the written permission of Darling Associates. The drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any certification and/or conditions that are required pertaining to such information should be sought from the relevant professional or their appointment representatives.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall, Boundary Awards. Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design sub-contractor's requirements as specified by the Main Contractor.

#### Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building located at no. 79 & 81 Pall Mall	05.03.15		



## DARLING ASSOCIATES ARCHITECTS

1 Greencoat Row London SW1P 1DH UK  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

#### Planning

TITLE  
**Proposed South East Elevation + Part Section E-E**

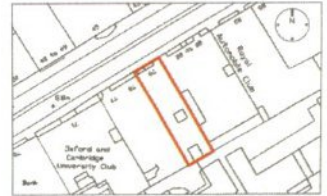
PROJECT  
 Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		

DATE	JOB NO	DRAWING	REV
Nov 2014	14045-B	(03)-E-002	P2

© Darling Associates Ltd.

Key Plan



General Notes

The drawing is copyright of Darling Associates. This drawing shall not be used, in whole or in part, for any other project, in any form, without the prior written consent of Darling Associates. All materials and workmanship shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any correction and/or addition that are required pertaining to such information should be sought from the relevant professional or their appointment representatives.

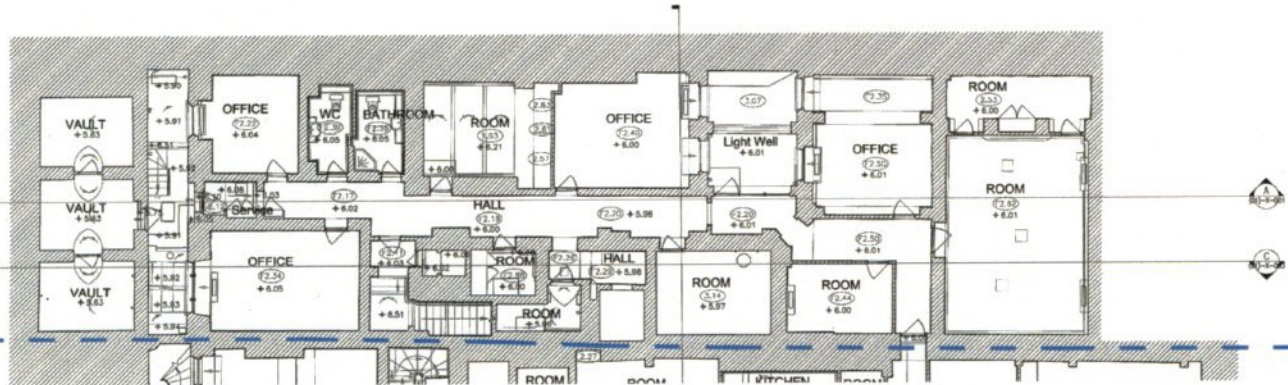
Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall, Boundary Awards. Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design consultant's requirements as specified by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create releasable drawings for each building located at no. 79 & 81 Pall Mall	06.05.15		

79 PALL MALL  
(APPLICATION B)

NOTIONAL CL OF P.W.



**DARLING ASSOCIATES**  
ARCHITECTS

1 Greencoat Row London SW1P 1DH  
UK  
mail@darlingassociates.net  
www.darlingassociates.net  
+44 20 7630 0500

**Planning**

TITLE  
**Existing Lower Ground Floor Plan**

PROJECT  
Application B, 79 Pall Mall

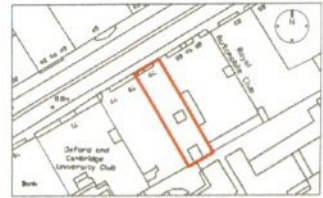
SCALE AT A1: 1:100 SCALE AT A3: 1:200 DRAWN: ISSUED:

DATE: 08 NO. DRAWING REV  
Nov 2014 14045-B (01)-P-001 P2

© Darling Associates Ltd.



Key Plan



General Notes

The drawing is copyright of Darling Associates. This drawing shall not be used for any other purpose unless it is shown otherwise stated or otherwise shall be checked on site prior to commencing the works and any discrepancy to be reported to Darling Associates at once and copies to the correct edition of the building regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any information and/or assistance that one requires pertaining to such information should be sought from the relevant professional or their appointment representative.

Drawings, specifications and estimates are to be read in conjunction with the following where applicable: Employer's Requirements Documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards, Other specialist design consultant's requirements as specified by the Main Contractor, Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	25.11.14		
02	Drawings split to create independent drawings for each building located at no. 79 & 79 Pall Mall	05.03.15		

Existing Fabric

New Fabric



DARLING ASSOCIATES ARCHITECTS

1 Greencoat Row London SW1P 1DH  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

Planning

TITLE  
**Proposed Lower Ground Floor Plan**

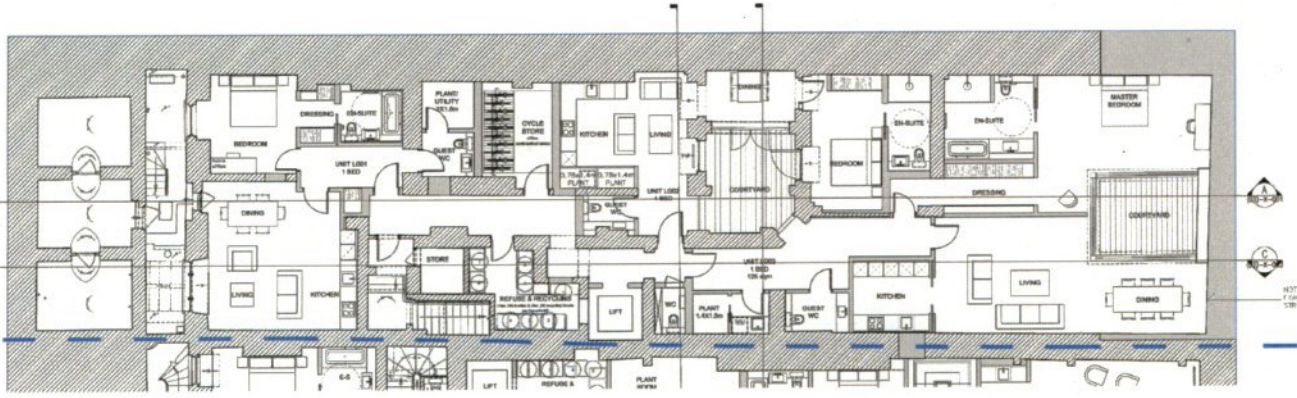
PROJECT  
 Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A2	DRAWN	ISSUED
1:100	1:200		

DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(03)-P-001	P2

79 PALL MALL (APPLICATION B)

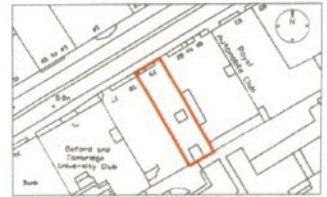
NOTIONAL CL OF P.W.



NOTIONAL CL OF BASEMENT EXTERIOR FAC. FURNIT. IS TO BE SHOWN IN TECHNICAL DRAWING



Key Plan



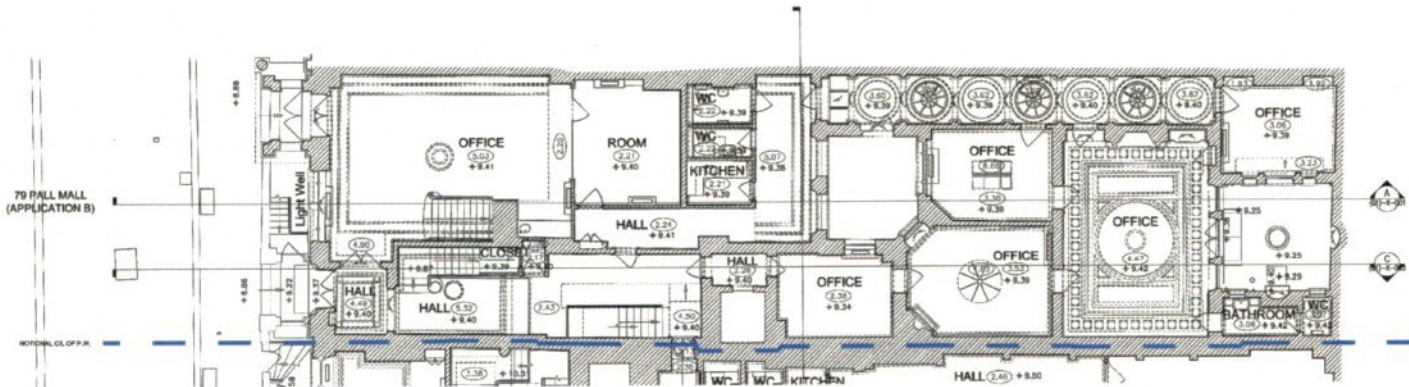
General Notes

The drawing is copyright of Darling Associates. This drawing shall not be used for any other purpose than that for which it is issued. All dimensions are in millimetres unless otherwise stated. All dimensions shall be checked on site prior to commencing the works and any discrepancies to be reported to Darling Associates as early as possible to the correct notice of the building regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates accept no responsibility for the integrity and accuracy of such information, and any permission shall be sought from the relevant professional or their appointment representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design sub-contractor's requirements as specified by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building located at no. 79 & 79a Pall Mall	06.03.15		



DARLING ASSOCIATES ARCHITECTS

1 Greencourt Row London SW1P 1DH  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

Planning

TITLE  
**Existing Ground Floor Plan**

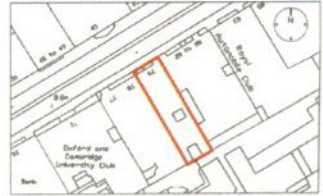
PROJECT  
 Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		

DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(01)-P-002	P2

© Darling Associates Ltd.

Key Plan



General Notes

The drawing is copyright of Darling Associates. This drawing shall not be copied, reproduced or otherwise used in any form without the written consent of Darling Associates. All works shall conform to the current edition of the Building Regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standard specifications and codes of practice. It is the contractor's responsibility to ensure that all necessary permissions are obtained and that the drawing is used for the purpose intended. Darling Associates shall accept no responsibility for the safety and accuracy of such information. Any information used for conditions that are removed appearing in such information should be sought from the relevant profession or their appropriate representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structure Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Agreements. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

Notes

REV	NOTES	DATE	BY AUTH
01	Issued for Planning	28.11.14	
02	Drawings sent to create independent drawings for each building located at no. 79 & 79a Pall Mall	05.03.15	

 Existing Fabric

 New Fabric



**DARLING ASSOCIATES**  
ARCHITECTS

1 Greencoat Row  
London SW1P 1DH  
UK  
mail@darlingassociates.net  
www.darlingassociates.net  
+44 20 7630 0500

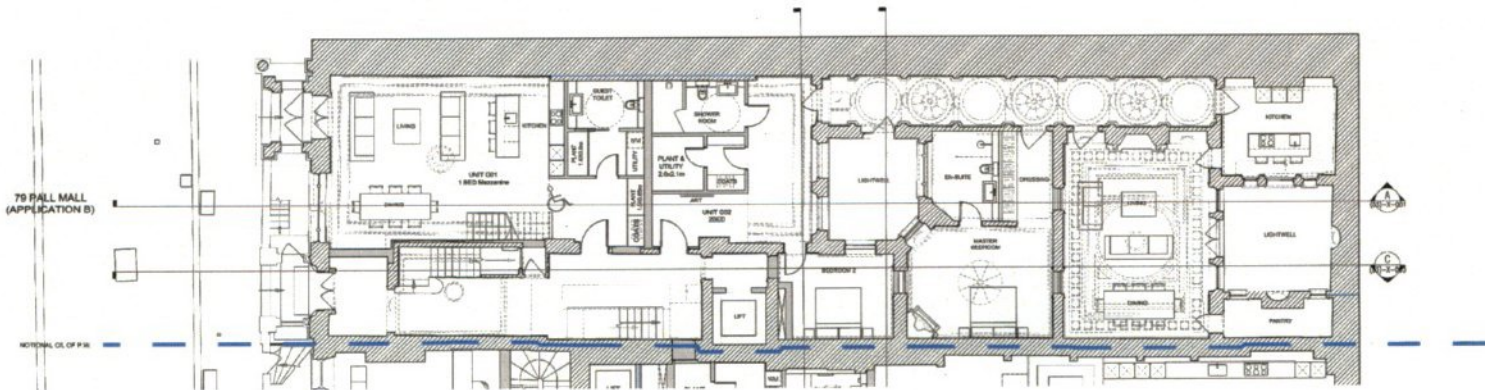
**Planning**

TITLE  
**Proposed Ground Floor Plan**

PROJECT  
Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A2	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(03)-P-002	P2

© Darling Associates Ltd.



Key Plan



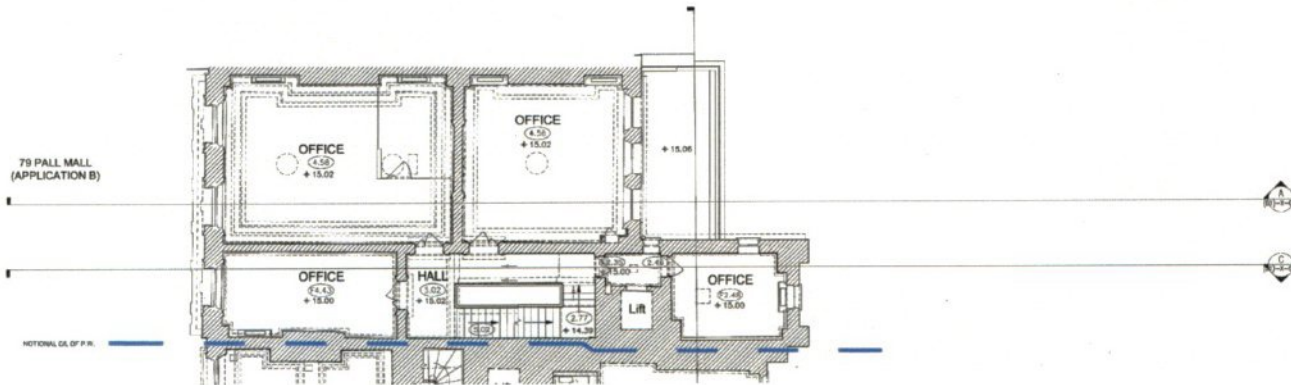
General Notes

The drawing is copyright of Darling Associates. This drawing shall not be copied, reproduced or in any way disseminated without the prior written consent of Darling Associates. All dimensions and measurements shall be taken from the drawing unless otherwise stated. It is the responsibility of the client to ensure that the drawing complies with all applicable building regulations and other statutory requirements. It is the responsibility of the client to ensure that the drawing complies with all applicable building regulations and other statutory requirements. It is the responsibility of the client to ensure that the drawing complies with all applicable building regulations and other statutory requirements.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements Document, Agreements by Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design sub-contractor's requirements as specified by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building location at no. 79 & 79 Pall Mall	18.05.15		



**DARLING ASSOCIATES**  
ARCHITECTS

1 Greencoat Row mail@darlingassociates.net  
London SW1P 1DH www.darlingassoc-architects.net  
UK +44 20 7630 0500

**Planning**

TITLE  
**Existing First Floor Plan**

PROJECT  
Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		

DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(01)-P-004	P2

© Darling Associates Ltd.





Key Plan



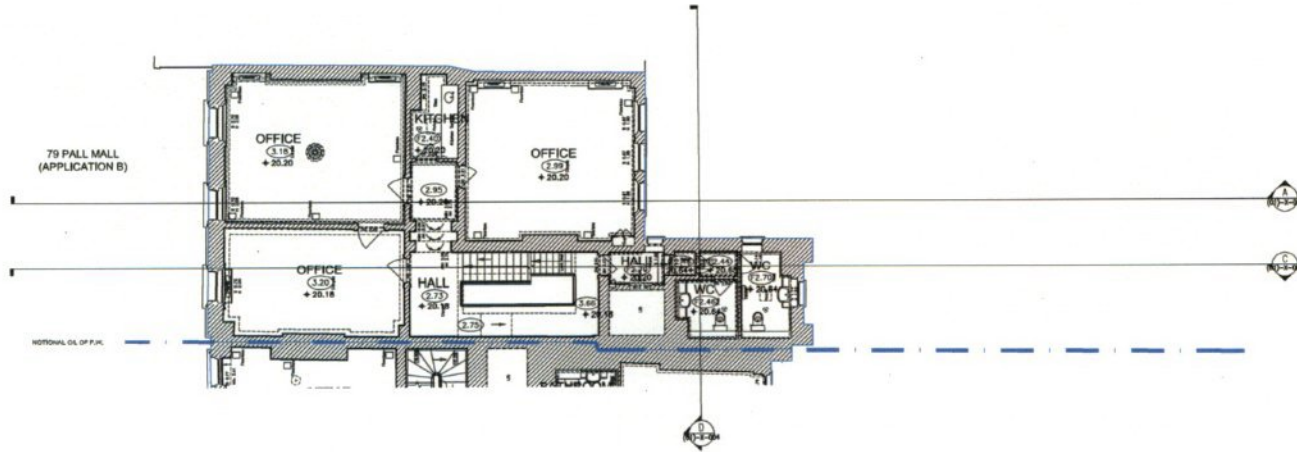
General Notes

The drawing is copyright of Darling Associates. The drawing shall not be copied, altered or used in any way without the written permission of Darling Associates. All dimensions are in mm unless otherwise stated. All dimensions shall be checked on site prior to commencing the work and any discrepancies to be reported to Darling Associates. All work shall conform to the current edition of the Building Regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any modification and/or additions that are required regarding to such information should be sought from the relevant profession or their appointed representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements Documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall/ Boundary Awards. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
P1	Issued for Planning	25.11.14		
P2	Change to create independent drawings for each building located at nos. 79 & 79A Pall Mall	05.02.15		



**DARLING ASSOCIATES**  
ARCHITECTS

1 Greencoat Row mail@darlingassociates.net  
London SW1P 1DH www.darlingassociates.net  
UK +44 20 7650 0500

**Planning**

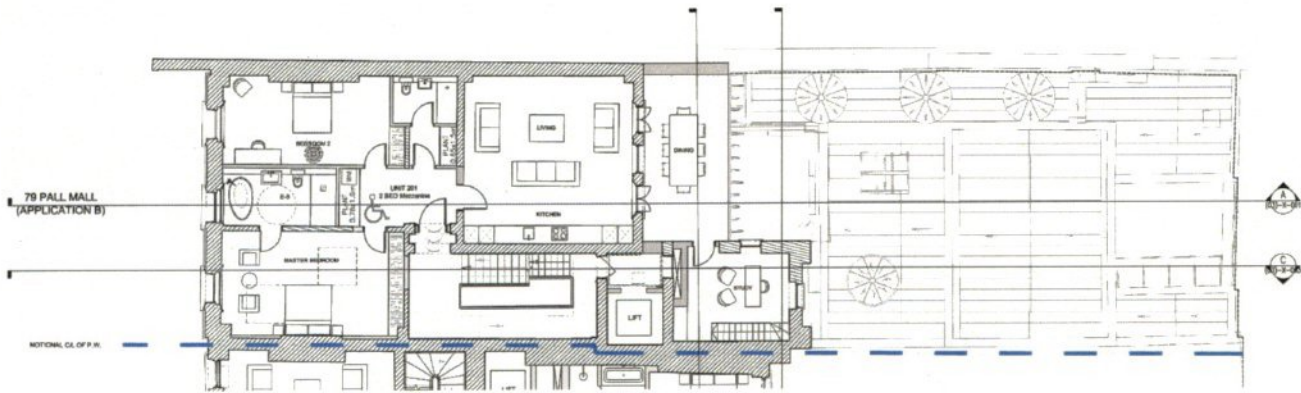
TITLE  
**Existing Second Floor Plan**

PROJECT  
Application B, 79 Pall Mall

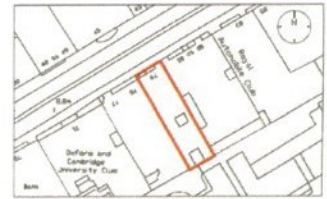
SCALE AT A1:	SCALE AT A0:	DRAWN	ISSUED
1:100	1:200		

DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(01)-P-006	P2

© Darling Associates Ltd.



**Key Plan**



**General Notes**

The drawings are copyright of Darling Associates. This drawing shall not be copied, reproduced or used in any way without the written consent of Darling Associates. All work shall conform to the current rules of the Building Regulations and other statutory requirements, all national and international standards and codes with the relevant design standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any particular and/or conditions that are required relating to such information should be sought from the relevant profession or their appropriate representative.

Drawings, specifications and schedules are to be read in conjunction with the following where appropriate: Employer's Requirements Documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Agreements, Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design sub-contractor's requirements as specified by the Main Contractor.

**Notes**

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building located at no. 78 & 79 Pall Mall	05.03.15		



**DARLING ASSOCIATES ARCHITECTS**

1 Greencoat Row  
London SW1P 1DH  
UK

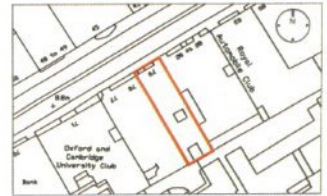
mail@darlingassociates.net  
www.darlingassociates.net  
+44 20 7630 0500

**Planning**

TITLE			
Proposed Second Floor Plan			
PROJECT			
Application B, 79 Pall Mall			
SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO	DRAWING	REV
Nov 2014	14045-B	(03)-P-006	P2

© Darling Associates Ltd

Key Plan



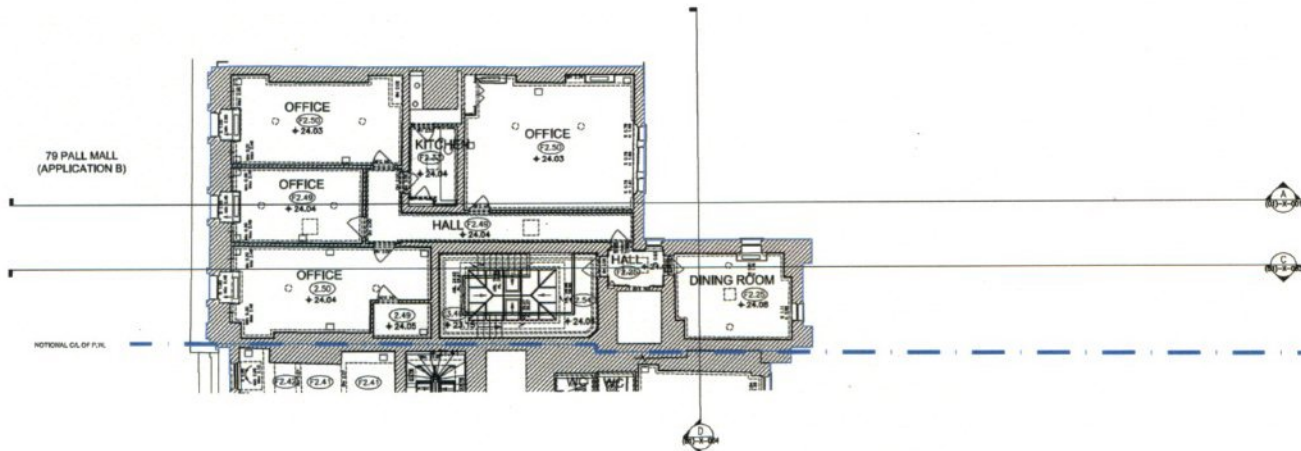
General Notes

The drawing is copyright of Darling Associates. This drawing shall not be copied, all dimensions are in mm unless otherwise stated. All dimensions shall be checked on site prior to commencing the work and any discrepancies to be reported to Darling Associates. All work shall conform to the current British Standards and other statutory requirements. All materials and workmanship shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any particular and/or conditions that are required respecting to such information should be sought from the relevant profession of their appointment representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey drawings, Party Wall, Boundary Awards, Other specialist design consultant's requirements as specified by the Main Contractor, Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

Notes

REV	NOTES	DATE	BY	AUTH
P1	Issued for Planning	28.11.14		
P2	Drawings left to create independent drawings for each sub-contractor at no. 79 & 76 Pall Mall	05.03.15		



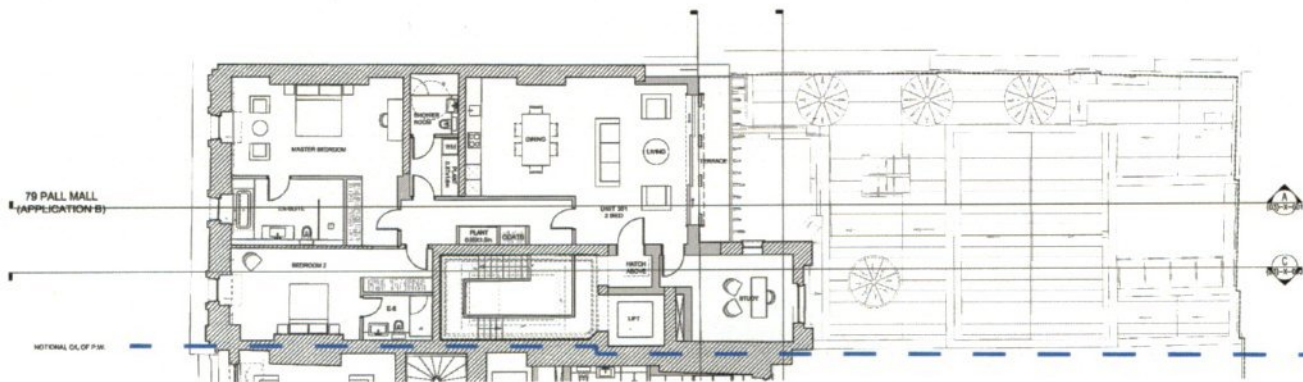
**DARLING ASSOCIATES**  
ARCHITECTS

1 Greencoat Row mail@darlingassociates.net  
London SW1P 1DH www.darlingassociates.net  
UK +44 20 7830 0500

**Planning**

TITLE			
Existing Third Floor Plan			
PROJECT			
Application B, 79 Pall Mall			
SCALE AT A1:	SCALE AT A2:	DRAWN:	ISSUED:
1:100	1:200		
DATE	JOB NO.	DRAWING	REV
Nov 2014	14045-B	(01)-P-007	P2

© Darling Associates Ltd.



**Key Plan**



**General Notes**

The drawing is copyright of Darling Associates. This drawing shall not be copied, reproduced or in any way disseminated. All dimensions shall be checked on site prior to commencing the works and any discrepancies to be reported to Darling Associates at once and conform to the correct scales of the building regulations and other statutory requirements, for materials and construction shall conform with the relevant British Standards specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any discrepancies and/or omissions shall not be construed as an admission of liability. Information should be sought from the relevant profession or their equipment representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements Documents, Agreements by Law, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall/ Boundary Agreements, Other specialist design consultant's requirements as specified by the Main Contractor. Other specialist design sub-contractor's requirements as specified by the Main Contractor.

**Notes**

REV	NOTES	DATE	BY	ADTH
P1	Issued for Planning	28.11.14		
P2	Drawings split to provide independent drawings for each building located at no. 79 & 79a Pall Mall	05.03.15		



**DARLING ASSOCIATES ARCHITECTS**

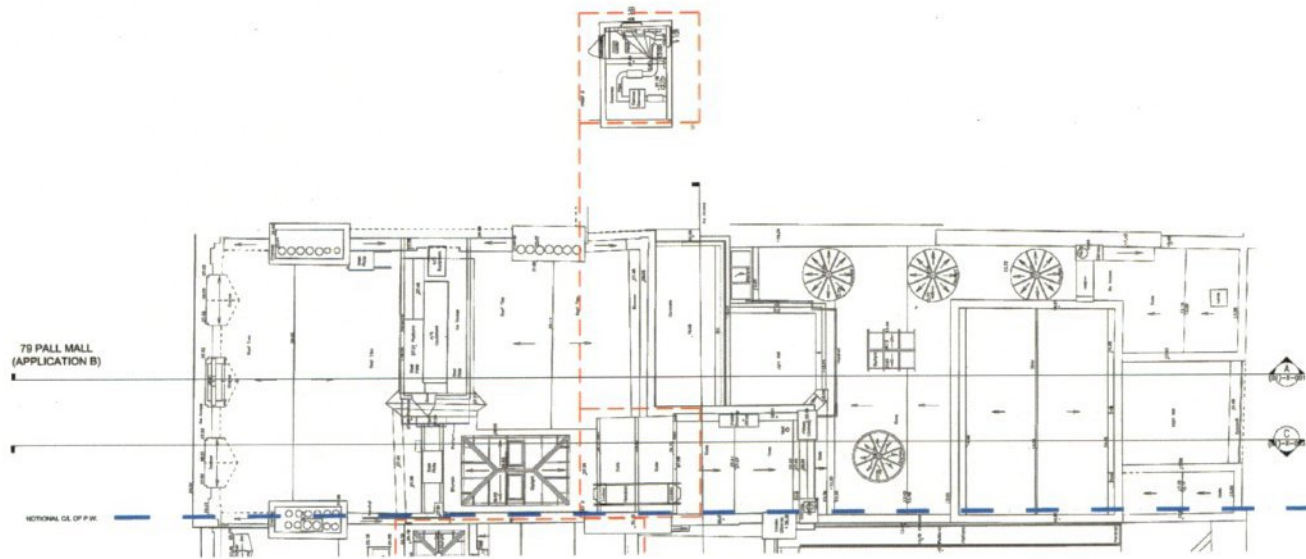
1 Greencoat Row London SW1P 1DH  
 UK mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500

**Planning**

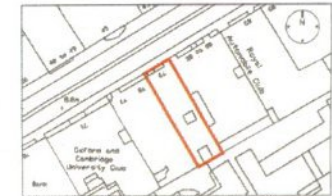
TITLE  
**Proposed Third Floor Plan**

PROJECT  
 Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO	DRAWING	REV
Nov 2014	14045-B	(03)-P-007	P2



### Key Plan



### General Notes

The drawing is copyright of Darling Associates. This drawing shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any professional should be sought from the relevant profession or their appropriate representatives.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements in Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Agreements. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

### Notes

REV	NOTES	DATE	BY	AUTH
01	Issued for Planning	28.11.14		
02	Drawings split to create independent drawings for each building located at no. 79 & 79 Pall Mall	28.09.15		



## DARLING ASSOCIATES ARCHITECTS

1 Greencoat Row London SW1P 1DH  
 mail@darlingassociates.net  
 www.darlingassociates.net  
 +44 20 7630 0500  
 UK

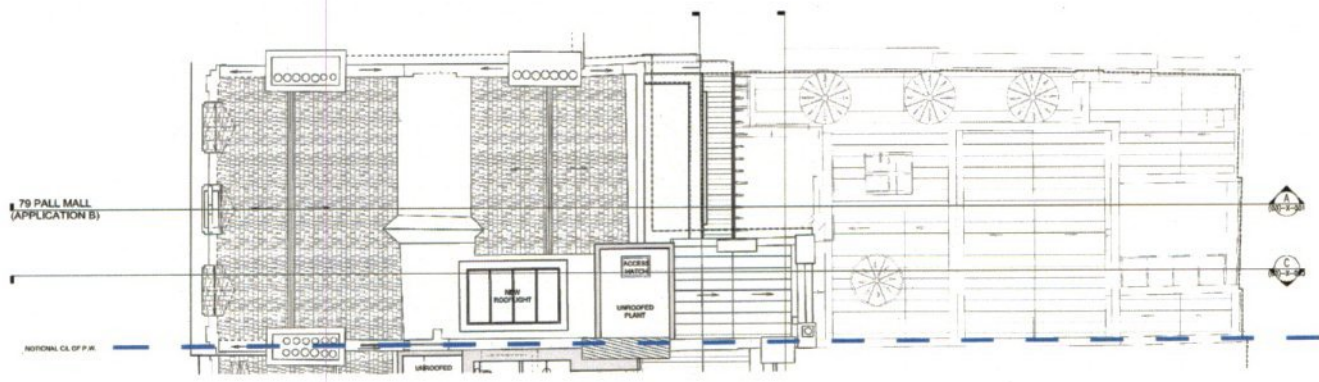
### Planning

TITLE  
**Existing Roof Plan**

PROJECT  
 Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A3	DRAWN	ISSUED
1:100	1:200		
DATE	JOB NO	DRAWING	REV
Nov 2014	14045-B	(01)-P-008	P2

© Darling Associates Ltd.



**Key Plan**



**General Notes**

This drawing is copyright of Darling Associates. This drawing shall not be copied or used for any other purpose without the written permission of Darling Associates. The drawing is issued as part of an application for planning permission and shall not be used for any other purpose without the written permission of Darling Associates. Darling Associates shall accept responsibility for the integrity and accuracy of such information. Any contradiction and/or omission that are required appearing to such information should be sought from the relevant profession or their consultant representative.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements Documents, Agreements to Lease, Structure Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design sub-contractor's requirements as appointed by the Main Contractor.

**Notes**

REV	NOTES	DATE	BY AUTH
01	Issued for Planning	28.11.14	
02	Drawings split to create independent drawings for each building located at no. 79 & 79 Pall Mall	05.03.15	



**DARLING ASSOCIATES ARCHITECTS**

1 Greencoat Row  
London SW1P 1DH  
UK  
mail@darlingassociates.net  
www.darlingassociates.net  
+44 20 7630 0500

**Planning**

TITLE  
**Proposed Fourth Floor Plan**

PROJECT  
Application B, 79 Pall Mall

SCALE AT A1	SCALE AT A3	DATE	ISSUED
1:100	1:200		

DATE	JOB NO.	DRAWING	REV.
Nov 2014	14045-B	(03)-P-008	P2